



## A HOMEOWNER'S GUIDE TO BUILDING PERMITS



## DRAWING REQUIREMENTS FOR A RESIDENTIAL ADDITION



July 2008

**Legal & Development Services Commission**  
**Office of the Building Inspector and By-Law Enforcement**

**TOWN OF NEWMARKET**  
395 Mulock Drive  
PO Box 328 STN Main  
Newmarket, ON L3Y 4X7

[www.newmarket.ca](http://www.newmarket.ca)  
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905.953.5300, ext 2400

## WHY DO I NEED A PERMIT?

THE ONTARIO BUILDING CODE REQUIRES THAT YOU OBTAIN A BUILDING PERMIT BEFORE YOU START WORK ON A NEW HOUSE OR AN ADDITION OR ANY SIGNIFICANT ALTERATIONS TO AN EXISTING HOUSE. THE BUILDING CODE SETS OUT THE MINIMUM REQUIREMENTS FOR SUCH WORK AND IS PARTICULARLY CONCERNED WITH YOUR HEALTH AND SAFETY AND THAT OF OTHER HOMEOWNERS, BUILDING OCCUPANTS, FUTURE OWNERS AND THE COMMUNITY.

## THE ONTARIO BUILDING CODE

The Ontario Building Code is a regulation made under the Building Code Act. The Code is essentially a set of minimum provisions respecting the safety of buildings with reference to public health, fire protection and structural sufficiency. It is not intended to be a textbook on building design, advice on which should be sought from professional sources. Its primary purpose is the promotion of public safety through the application of appropriate uniform building standards. The provisions in this Code are intended to provide a minimum acceptable level of public safety and building integrity. They are not intended to be applied to voluntary installations unless specified in the Code.

### DEFINITIONS

"building" means

- (a) a structure occupying an area greater than ten square metres consisting of a wall, roof and floor or any of them or a structural system serving the function thereof including all plumbing, works, fixtures and service systems appurtenant thereto;
- (b) a structure occupying an area of ten square metres or less that contains plumbing, including the plumbing appurtenant thereto,
- (c) plumbing not located in a structure,
  - (c.1) a sewage system; or
- (d) structures designated in the building code;

"construct" means to do anything in the erection, installation, extension or material alteration or repair of a building and includes the installation of a building unit fabricated or moved from elsewhere and "construction" has a corresponding meaning; ("construire", "construction", "travaux de construction")

## WHEN DO I NEED A PERMIT?

CONTACT THE TOWN OF NEWMARKET MUNICIPAL OFFICES AT **905-895-5193** or **EMAIL US AT [Buildings@newmarket.ca](mailto:Buildings@newmarket.ca)** FOR SPECIFIC PERMIT REQUIREMENTS FOR ANY PARTICULAR PROJECT.

### PERMITS ARE NORMALLY REQUIRED FOR:

Building any detached structure larger than 108 sq. ft.  
Building any addition to your home  
Raised porches or decks  
Carports or garages  
Structural alterations  
Moving or lifting your house  
Installing a wood stove or fireplace  
Partitioning a basement or adding a basement entrance  
Creating an apartment in your house  
Altering or adding any plumbing  
Demolishing a house

### PERMITS ARE NOT NORMALLY REQUIRED FOR:

Detached structures 108 sq. ft. or less in area  
Replacement of a furnace  
New interior wall, floor or ceiling finishes  
Repairs to chimneys, porches, decks or roofs  
Waterproofing repairs to a basement  
Replacement of windows, doors, roofing or siding

## BEFORE YOU START

Before you start to prepare your drawings, you should check that your proposal will comply with the Town's Zoning By-laws. The Zoning By-laws specify minimum setbacks from property lines, maximum coverage and other zoning standards that may limit your proposal. It's best to find out if these limits will affect your project before you start preparing your drawings. Zoning information may be obtained from the Planning Department- 905-953-5321.

## HOW DO I GET A PERMIT?

1. Prepare drawings which accurately and to scale describe the construction you propose. The drawings submitted with the permit application need to be detailed enough so that anyone using them would be able to construct your project. If questions remain regarding how construction will occur, the drawings are not detailed enough. Standard technical details are available at the local municipal offices to assist in the preparation of your plans. Where an owner engages the services of another person to perform design activities, that person may be required to comply with the qualification requirements established by the Ministry of Municipal Affairs and Housing. The attached sample plans are an example of the scope of drawings usually required for an addition to a house. **THESE DRAWINGS ARE NOT INTENDED FOR USE IN YOUR PERMIT APPLICATION.**
2. Visit the local municipal offices at **395 Mulock Drive., Newmarket** and complete a building permit application. The application is also available on line at [www.newmarket.ca](http://www.newmarket.ca) in the Building and Bylaws section of the Town of Newmarket website.
3. Provide the required number of copies (usually 2 or 3) of the construction drawings, including a site plan.
4. Pay the permit fee.

## WHEN WILL I GET THE PERMIT?

The Building Permit will be issued or refused within the prescribed period which may range between 10-20 business days if your drawings are complete and the proposed construction meets all legal requirements such as zoning regulations, the Ontario Building Code and the requirements of other agencies such as the Conservation Authority, the Region of York and the Town's Public Work's Department.

## WHAT DO I HAVE TO DO AFTER I GET THE PERMIT?

Review your approved permit drawings before you start work and keep them on the project site. The permit must be posted in a conspicuous place on your property prior to starting work. You can commence construction any time after obtaining the permit and your permit will remain valid for a minimum of six months. Local utilities such as hydro, gas and telephone operate independently from the municipality and should be contacted regarding their specific approval and inspection requirements. All utilities must be contacted prior to commencing any excavation to determine the location of any nearby underground services.

Inspection requirements will be discussed with a building inspector at the time the building permit is issued, depending on the type of project, and must be arranged by calling the municipal building inspection offices at 905-953-5300, ext. 2400 prior to covering the work. For a house addition, an inspection is required for footings and foundations, structural framing, plumbing, insulation and vapour barriers and a final inspection before using the new space. Smaller projects such as decks and garages will involve fewer inspections. You will be informed if your project is a "smaller project" for inspection purposes. **Please note that we require 48hrs notice for requesting inspections.**

The stages of inspection include:

### **Excavation/footings**

At this stage, the inspector checks visually for soil bearing capacity and footing sizes. Foundations are intended to safely carry their own weight and the loads transferred to them.

### **Exterior Sewers**

The inspector looks for appropriate installation of exterior storm and sanitary drains including material type, slope, colour (green for sanitary and white for storm), fittings, etc.

### **Foundation Walls-Before Backfilling**

The inspector looks for the size of the foundation wall and that all water and damproofing measures have been installed including weepers, stone, bituminous material, etc.

### **Inside Drains**

The inspector looks for appropriate installation of storm and sanitary drains including material type, slope, colour (green for sanitary and white for storm), fittings, etc.

### **Structural Framing Completed (incl. all rough-ins)**

At this point, the inspector examines the structural integrity of wall systems, floor systems, roof systems, means of egress, fire and sound control, mechanical systems, windows and fireplaces.

### **Insulation**

The inspector looks for compliance with thermal resistance and air barrier requirements in addition to all deficiencies regardless of past approvals, as this is the last inspection before covering.

### **Final inspection**

At this point, all systems are complete and operational and the construction is complete.

If changes to the approved work are anticipated, speak with the inspector to determine if a revision to your permit is required. Please see attached Request for Inspection form. **PLEASE REMEMBER TO WORK SAFELY!**

## **PERMIT SUBMISSION**

A small housing addition will usually require the submission of the following drawings. All drawings must be accurately drawn to scale, in ink.

The provisions of the Ontario Building Code are intended to provide a minimum acceptable level of public safety and building integrity. They are not intended to be applied to voluntary installations unless specified in the Code. Voluntary installations should not detrimentally affect features required by the Code.

## **SITE PLAN**

A SITE PLAN is a drawing showing the complete property and identifying all structures in relation to the property boundaries. It should include:

- Scale
- North arrow
- Lot lines and dimensions
- Existing and proposed construction and dimensions
- Setbacks and lot lines
- Proposed changes to existing grade

## **FLOOR PLANS**

A FLOOR PLAN is a drawing of the structure as seen as if it is cut horizontally a few feet above the floor lines. One floor plan is required for every floor of the house which is affected by the new construction. Each plan shows the interior layout in question as well as providing the structural framing information for the floor or roof above.

Floor plans should include:

- Scale

- Use of rooms and spaces
- Dimensions
- Extent of new construction including new work within existing building
- Size, type and location of exterior and interior walls and partitions
- Widths, locations and lintel sizes of all openings
- Location, dimensions and direction of stairs
- Sectional arrows
- References to detailed drawings
- Material specifications or notes
- Heating details and calculations

## ELEVATIONS

ELEVATIONS show the exterior view of each side of the house. Each elevation is identified by the direction it is facing and should include:

- Scale
- Extent of new and existing construction
- Vertical dimensions of walls, windows and doors
- Grade level
- Exterior wall cladding, finishes and flashing
- Overhang dimensions
- Roof shape, slope and finish
- Rainwater leader and eavestrough

## SECTIONS & DETAILS

A SECTION represents a view of the house along an imaginary line at a particular location and illustrates construction details. The extent of the sections should correspond with the sectional arrows shown on the plans. Sections should indicate the following:

- Scale
- Details of footings, foundations, walls, floors and the roof
- Distance from grade to floor and underside of footing
- Attic and crawl space ventilation

At times, a specific aspect of the project may require specific details. An inventory of standard construction details is available from the local municipal offices, which can be used to augment your plans.

## MECHANICAL DRAWINGS

Mechanical drawings are required to ensure the furnace selected has the capacity to heat or cool your house. This requires heat loss and heat gain calculation to determine the capacity of the furnace required and drawings of the duct design and layout (by a qualified designer).

This information is generally available from the mechanical/heating contractor.

If you are proposing an addition that is less than 200 sq. ft. or 10 % of the size of your house, heat loss and heat gain calculations are not required, however a duct layout is.

## IMPORTANT NUMBERS

Directory	Phone #	Fax	Email address
Planning Department	905-953-5321	905-953-5140	Planning@newmarket.ca
Fire Department	905-895-9222	905-895-1900	Firedept@newmarket.ca
Public Works and Environmental Services	905-895-5193	905-953-5138	Publicworks@newmarket.ca
Building & Bylaws	905-895-5193	905-953-5141	Buildings@newmarket.ca
Enbridge	1-888-447-4911	416-495-3928	www.enbridge.com
Newmarket Hydro	905-895-2309	905-895-8931	Nmhydro@nmhydro.on.ca
Hydro 1	1-877-955-1155	1-888-625-4401	n/a
Electrical Safety Authority	1-877-372-7233		

PERMIT NO. \_\_\_\_\_ LOT NO. \_\_\_\_\_ R.P \_\_\_\_\_

BUILDER/OWNER \_\_\_\_\_

PROPERTY ADDRESS \_\_\_\_\_

THE CONSTRUCTION OF THE ABOVE UNIT WILL HAVE REACHED THE STAGE MARKED BELOW ON THIS DATE: \_\_\_\_\_  
 (PLEASE ALLOW 48 HOURS NOTICE FOR INSPECTION)

Is this a re-inspection?  yes  no SIGNED: \_\_\_\_\_

- |   |   |
|---|---|
| <input type="checkbox"/> Excavation & Footings Formed                     | <input type="checkbox"/> Exterior Sewers            |
| <input type="checkbox"/> Foundation Walls – Before Backfilling            | <input type="checkbox"/> Water Service Pipes        |
| <input type="checkbox"/> Structural Framing (incl. all rough-ins)         | <input type="checkbox"/> Inside Drains              |
| <input type="checkbox"/> Completion of all fire separations, closures     | <input type="checkbox"/> Water Distribution Systems |
| <input type="checkbox"/> Insulation (includes vapour and/or air barriers) | <input type="checkbox"/> Drainage & Venting Systems |
| <input type="checkbox"/> Final Completion of Unit                         | <input type="checkbox"/> _____                      |
- Other

Notes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

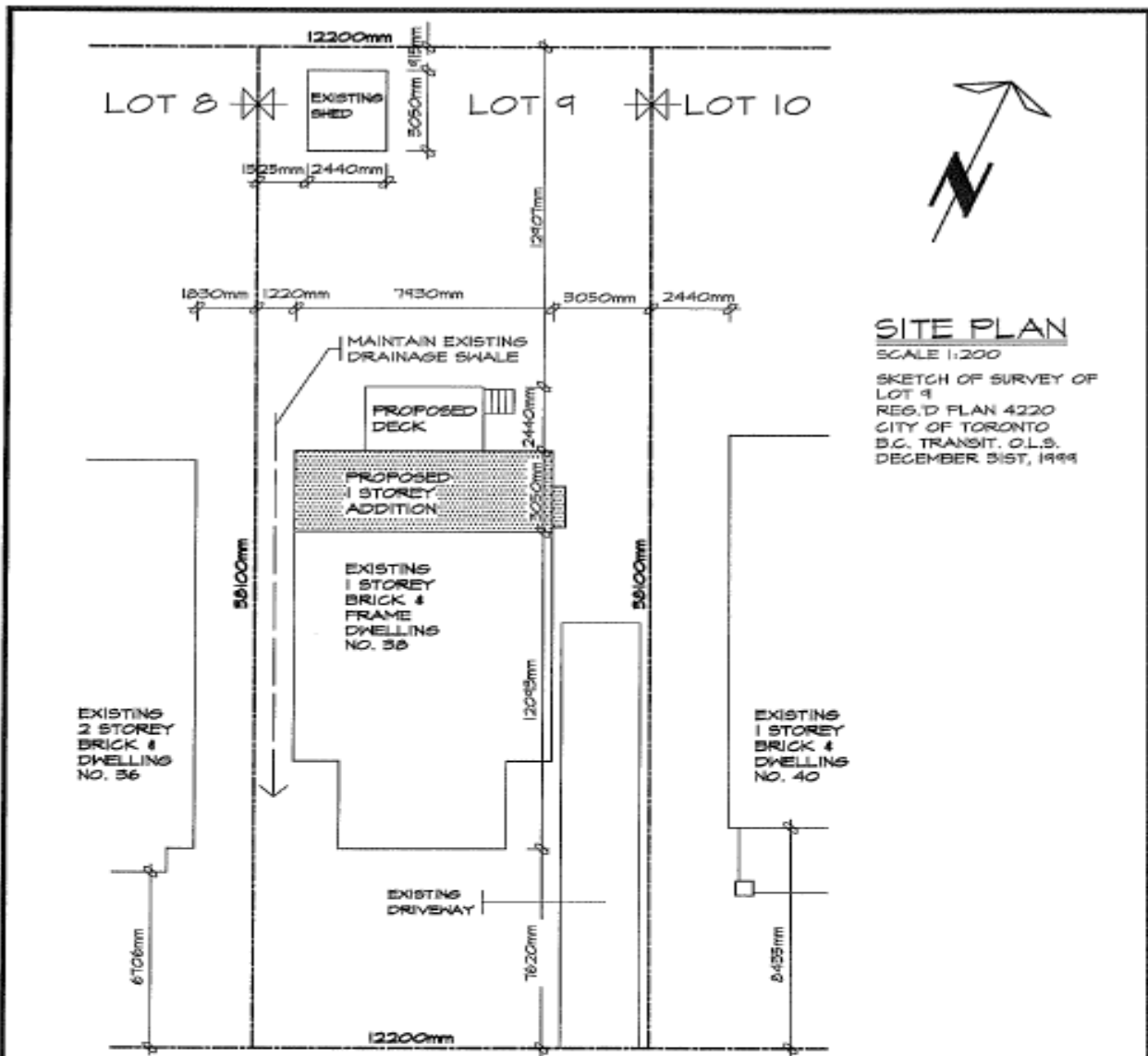
Date: \_\_\_\_\_ Signed: \_\_\_\_\_

Building Inspector

**Legal & Development Services Commission**  
**Office of the Building Inspector and By-Law Enforcement**

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 PO Box 328 STN Main  
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[building@newmarket.ca](mailto:building@newmarket.ca)  
 905.953.5300, ext 2400



**SITE PLAN**

SCALE 1:200  
 SKETCH OF SURVEY OF  
 LOT 9  
 REG. D PLAN 4220  
 CITY OF TORONTO  
 B.C. TRANSIT. O.L.S.  
 DECEMBER 31ST, 1999

**KHALMUR CRESCENT**

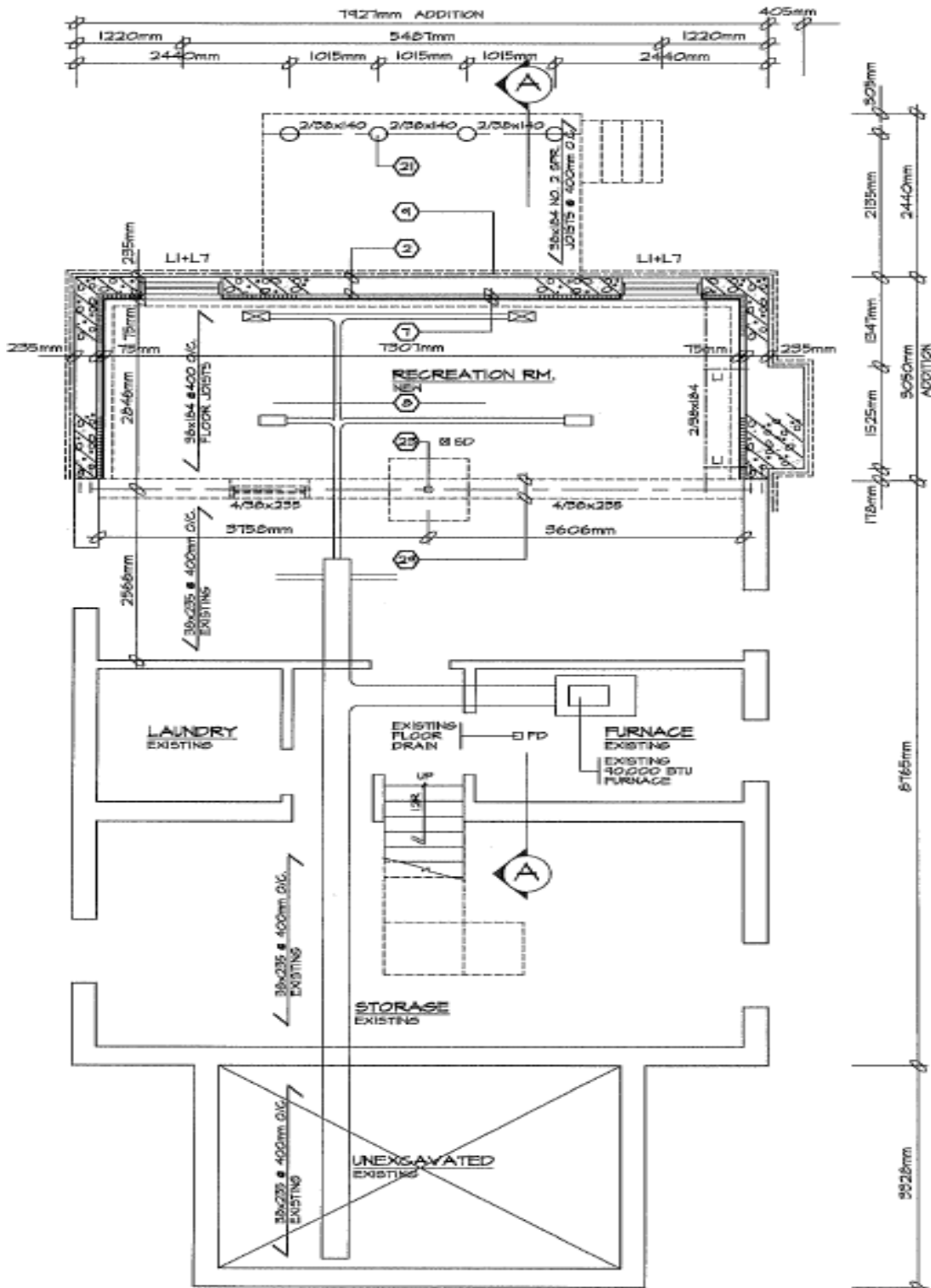
ZONING	LOT NO:		PLAN NO:	LOT AREA		LOT FRONTAGE		LOT DEPTH	
R2 ZD.6	LOT 9		4220	580.64m <sup>2</sup>		12200mm		5810mm	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED
LOT COVERAGE	26.52m <sup>2</sup>	24.8m <sup>2</sup>	110.68m <sup>2</sup>	19.0	-----	-----	FRONT YARD	1620mm	1620mm
GROSS FLOOR AREA	26.52m <sup>2</sup>	24.8m <sup>2</sup>	110.68m <sup>2</sup>	19.0	348.59m <sup>2</sup>	60.0	REAR YARD	15510mm	12407mm
LANDSCAPED AREA	-----	-----	-----	-----	-----	-----	INTERIOR SIDE (east)	3050mm	5050mm
NO. OF STOREYS	1 STOREY	1 STOREY	1 STOREY	-----	-----	-----	INTERIOR SIDE (west)	1220mm	1220mm
HEIGHT	4550mm	4550mm	4550mm	-----	-----	-----	EXTERIOR	-----	-----
WIDTH	7930mm	7930mm	7930mm	-----	-----	-----			
DEPTH	12045mm	5050mm	15145mm	-----	17000mm	-----			
PARKING	-----	-----	-----	-----	-----	-----			

NOTE: ZONING RESTRICTIONS VARY IN EVERY MUNICIPALITY. CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC SETBACKS AND OTHER LIMITATIONS IN YOUR AREA.

**TACBOC**  
 STANDARD DETAIL

TITLE  
**SAMPLE DRAWING**  
 SITE PLAN

DWG. NO.  
**A03a**  
 2007

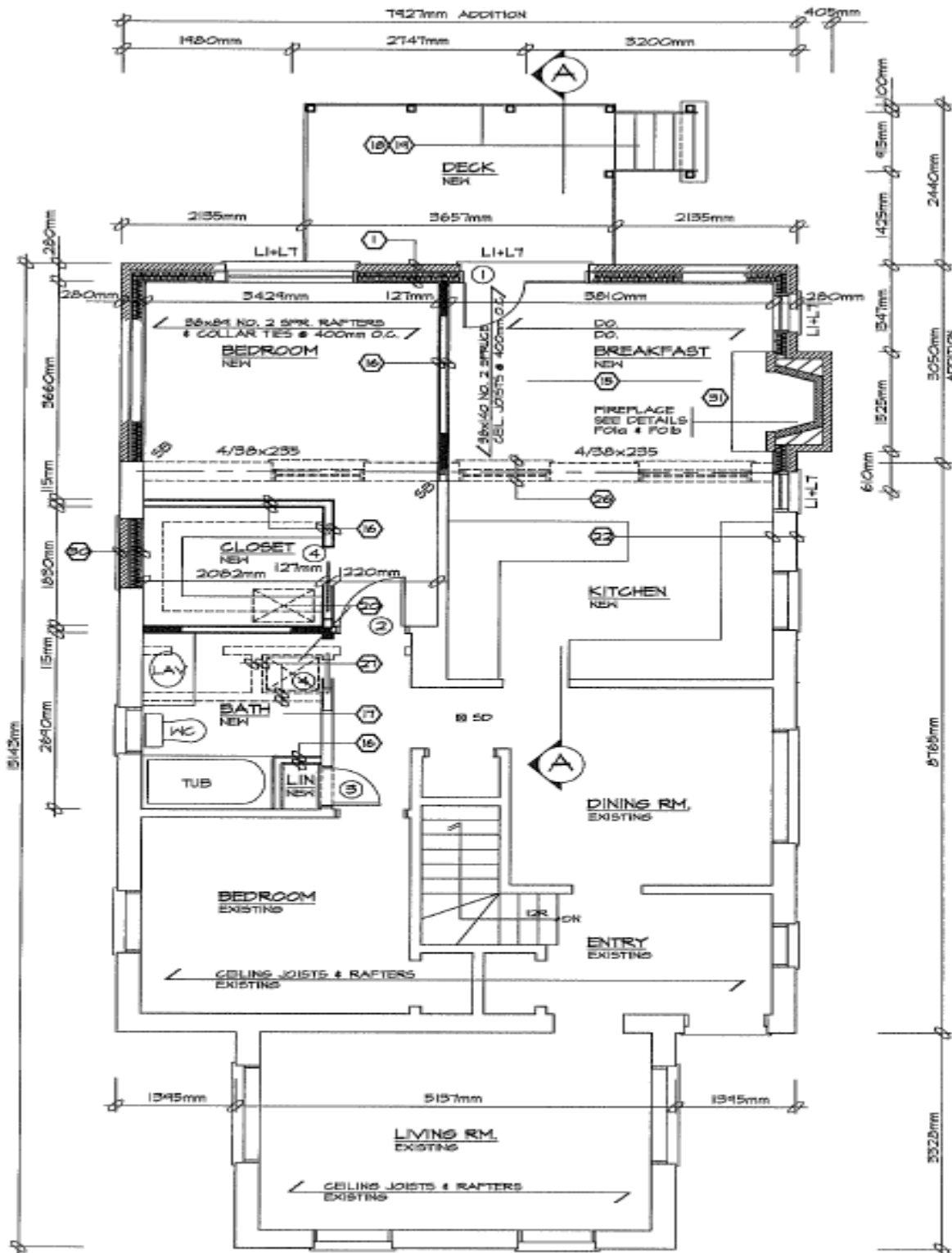


**BASEMENT PLAN**  
SCALE 1/80

**TACBOC**  
STANDARD DETAIL

FILE  
**SAMPLE DRAWING**  
BASEMENT PLAN

DWG. NO.  
**A03b**  
2007

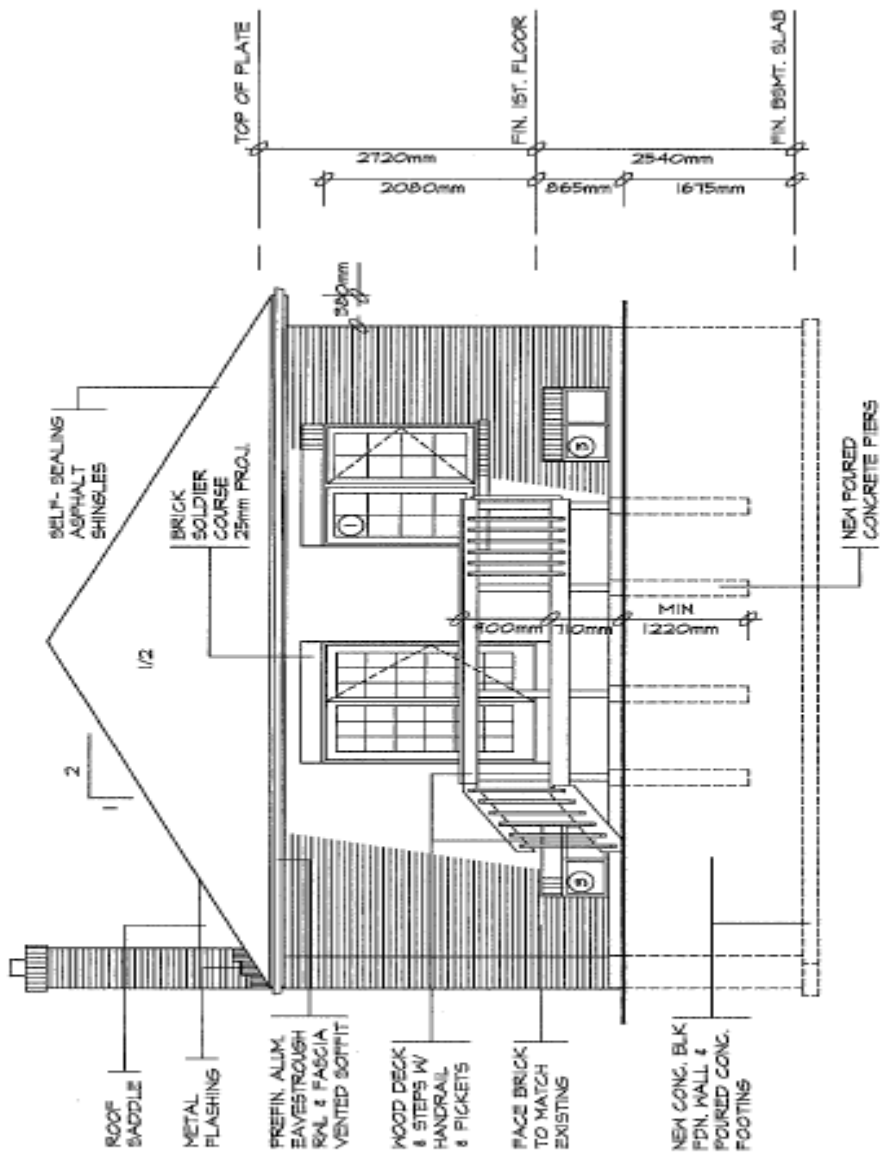


**GROUND FLOOR PLAN**  
SCALE 1:50

**TACBOC**  
STANDARD DETAIL

TITLE  
SAMPLE DRAWING  
GROUND FLOOR PLAN

DWG. NO.  
**A03c**  
2007



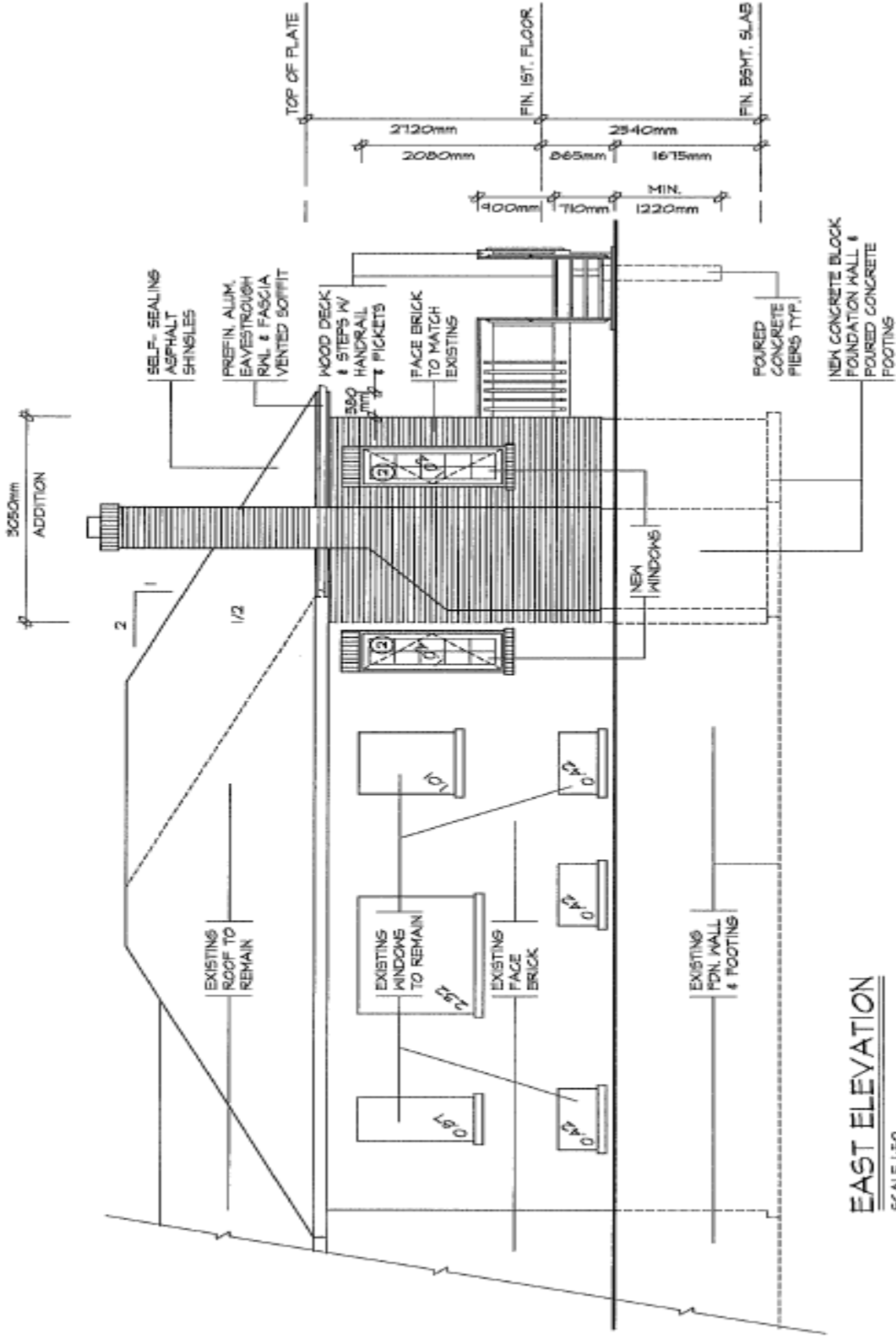
**NORTH ELEVATION**

SCALE 1:50

**TACBOC**  
STANDARD DETAIL

TITLE  
SAMPLE DRAWING  
ELEVATION

DWG. NO.  
**A03d**  
2007



**EAST ELEVATION**

SCALE 1:50

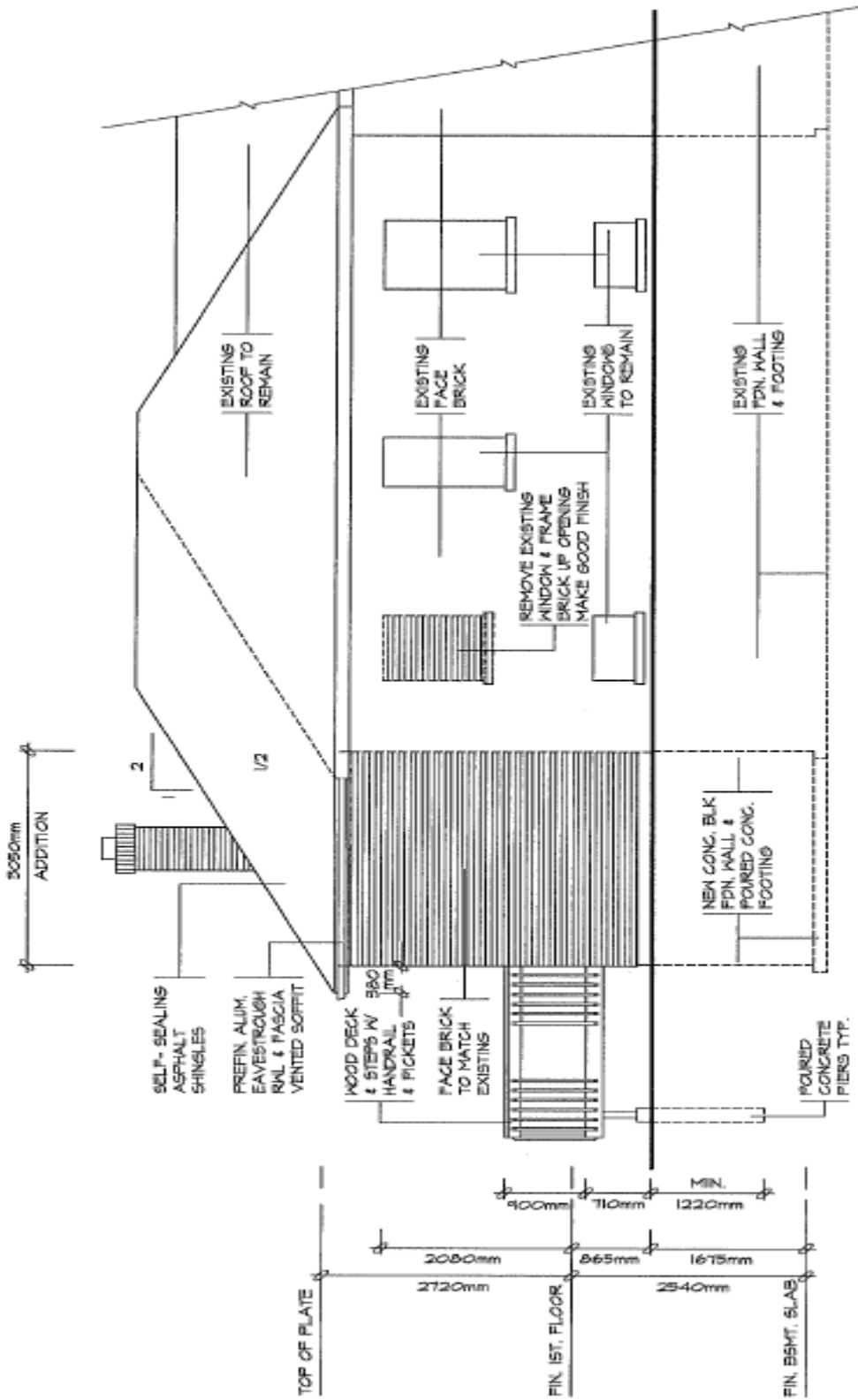
**UNPROTECTED OPENINGS**

WALL AREA	42.36m <sup>2</sup>
LIMITING DISTANCE	3050mm @ 16.00%
MAX. ALLOWABLE OPENINGS	7.62m <sup>2</sup>
TOTAL OPENINGS PROVIDED	7.50m <sup>2</sup>

**TACBOC**  
STANDARD DETAIL

FILE  
SAMPLE DRAWING  
ELEVATION

DWG. NO.  
**A03e**  
2007



**WEST ELEVATION**

SCALE 1:30

**UNPROTECTED OPENINGS**

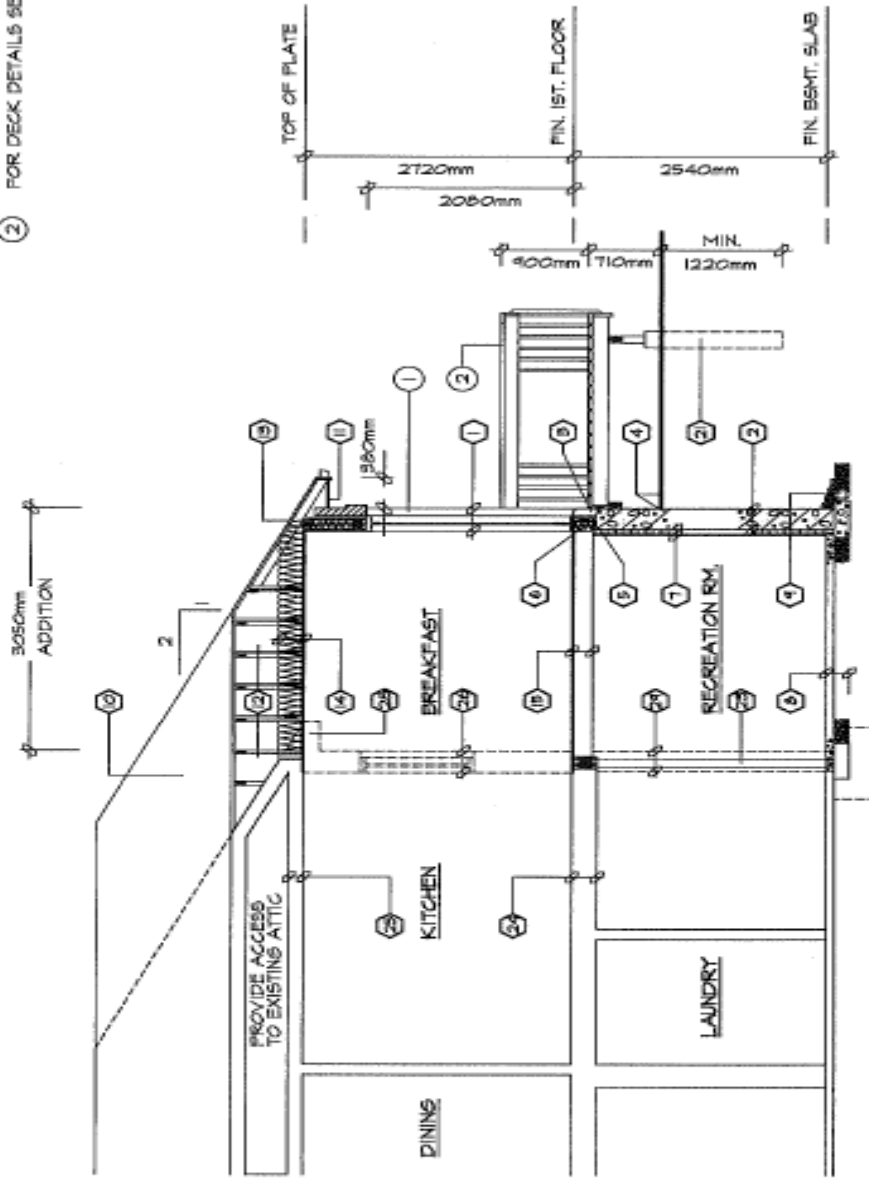
NO NEW OPENINGS  
EXISTING TO REMAIN

**TACBOC**  
STANDARD DETAIL

TYPE  
SAMPLE DRAWING  
ELEVATION

DWG. NO.  
**A03f**  
2007

- ① FOR WALL SECTION SEE NO2
- ② FOR DECK DETAILS SEE DOIG - D01d



**SECTION A-A**  
SCALE 1:50

**TACBOC**  
STANDARD DETAIL

R/R/E  
SAMPLE DRAWING  
CROSS SECTION

DWG. NO.  
**A03g**  
2007

# CONSTRUCTION SPECIFICATIONS

## 1 BRICK VENEER WALL

40mm FACE BRICK, 25mm AIR SPACE  
0.16mm THICK x 22mm WIDE  
GALVANIZED METAL TIES  
INSTALLED W/ GALVANIZED  
SPIRAL NAILS OR SCREWS  
400mm O.C. HORIZ., 600mm O.C. VERT.  
AIR BARRIER, LAYERS  
TO OVERLAP EACH OTHER  
EXTERIOR TYPE SHEATHING  
38x140 WOOD STUDS @ 400mm O.C.  
RSI 5.34 BATT INSUL. IN CONTINUOUS  
CONTACT W/ EXTERIOR SHEATHING  
CONTINUOUS AIR / VAPOUR BARRIER  
12.7mm INTERIOR DRYWALL FINISH  
DOUBLE PLATE @ TOP  
SOLE PLATE @ BOTTOM

## 2 FOUNDATION WALL

BITUMINOUS DAMPPROOFING ON  
MINIMUM 6mm PARFING ON  
CONCRETE BLOCK FDN. WALL  
TOP BLOCK COURSE FILLED  
W/ MORTAR OR CONCRETE  
PROVIDE PARFINS COVER OVER  
450mmx150mm POURED CONC. FOOTING  
TO BEAR ON UNDISTURBED SOIL  
PROVIDE DRAINAGE LAYER  
- MIN. 19mm MINERAL FIBRE  
INSULATION W/ A DENSITY OF  
NOT LESS THAN 57kg/m<sup>3</sup>, OR  
- MIN. 100mm OF FREE DRAINING  
GRANULAR MATERIAL, OR  
- A S.H.E.C. APPROVED  
DRAINAGE LAYER MATERIAL

## 3 BRICK VENEER @ FDN. WALL

0.5mm POLY FLASHING MINIMUM  
150mm UP BEHIND SHEATHING PAPER  
KEEP HOLES @ MIN. 500mm APART

## 4 GRADE

SLOPE GRADE AWAY FROM  
BUILDING FACE & PROVIDE  
SEMI-SOLID BLOCK COURSE  
AT OR BELOW GRADE LEVEL

## 5 SILL PLATE

38x140 SILL PLATE FASTENED  
TO FOUNDATION WALL WITH  
MIN. 12.7mm DIA. ANCHOR BOLTS  
EMBEDDED MIN. 100mm IN CONCRETE  
@ 2400mm O.C. MAX. & PROVIDE A  
CONTINUOUS AIR BARRIER BETWEEN  
THE FOUNDATION WALL & WOOD  
FRAME CONSTRUCTION

## 6 FLOOR INSULATION

CONTINUOUS HEADER JOIST WITH  
RSI 4.40 BATT INSULATION EXTEND  
VAPOUR / AIR BARRIER & SEAL  
TO JOIST AND SUBFLOOR

## 7 FOUNDATION INSULATION

12.7mm INTERIOR DRYWALL FINISH  
38x140 WOOD STRAPPINGS @ 400mm O.C.  
MIN. RSI 2.11 INSULATION W/ 0.15mm POLY  
VAPOUR BARRIER FULL HEIGHT.  
MOISTURE BARRIER TO HEIGHT OF  
EXTERIOR GRADE BETWEEN  
FOUNDATION WALL & WOOD FRAMING

## 8 BASEMENT SLAB

75mm POURED CONCRETE SLAB  
(25 MPa CONC. STRENGTH)  
100mm CRUSHED STONE BELOW

## 9 DRAINAGE

100mm DIA. KEEPING TILE W/  
150mm CRUSHED STONE COVER

## 10 ROOF CONSTRUCTION

20 YEAR ASPHALT SHINGLES W/  
EAVES PROTECTION ON MIN. 9.5mm  
EXTERIOR PLYWOOD SHEATHING  
ON APPROVED ROOF TRUSSES OR  
CONVENTIONAL FRAMING (SEE PLANS)  
USE 'Y' CLIPS IF 600mm O.C. SPACING

## 11 OVERHANGS CONSTRUCTION

PREFINISHED ALUMINUM FASCIA,  
EAVESTROUGH & RAIN WATER LEADERS  
TO MATCH EXISTING FINISHES. PROVIDE  
Drip EDGE AT FASCIA & VENTED SOFFIT  
EXTEND DOWNSPOUTS TO GRADE LEVEL

## 12 ROOF VENTILATION

1:500 OF THE INSULATED CEILING  
AREA UNIFORMLY DISTRIBUTED.

## 13 EAVES PROTECTION

EAVES PROTECTION MEMBRANE TO  
EXTEND FROM THE EDGE OF THE  
ROOF, 400mm UP THE SLOPE BUT NOT  
LESS THAN 300mm BEYOND THE  
INTERIOR FACE OF THE EXTERIOR WALL

## 14 CEILING CONSTRUCTION

15.4mm INTERIOR DRYWALL FINISH  
CONTINUOUS AIR / VAPOUR BARRIER  
W/ MINIMUM RSI 7.00 BATT INSULATION

## 15 FLOOR CONSTRUCTION

15.5mm T&G PLYWOOD SUBFLOOR  
38x140 FLOOR JOISTS @ 400mm O.C.  
FLOOR JOISTS BRIDGED W/  
CONTINUOUS 19mmx64mm STRAPPINGS  
OR 2 ROWS OF 38mmx38mm CROSS  
BRIDGING OR SOLID BLOCKING

## 16 INTERIOR STUD PARTITION

12.7mm DRYWALL FINISH BOTH SIDES OF  
38x140 WOOD STUDS @ 400mm O.C.  
2 TOP PLATES & 1 BOTTOM PLATE  
PROVIDE REINFORCEMENT FOR FUTURE  
GRAB BAR INSTALLATION IN BATHROOM

## 17 MECHANICAL VENTILATION

PROVIDE MIN. 5.0 L/S IN KITCHENS  
AND BATHROOMS, 37.5 L/S FOR  
PRINCIPAL EXHAUST FAN

## 18 STAIRS INTERIOR/EXTERIOR

MAXIMUM RISE	= 200mm
MINIMUM RISE	= 125mm
MINIMUM RUN	= 210mm
MAXIMUM RUN	= 555mm
MINIMUM TREAD	= 235mm
MAXIMUM TREAD	= 555mm
MAXIMUM NOSING	= 25mm
MINIMUM WIDTH	= 660mm
MINIMUM HEADROOM	= 1950mm

## 19 GUARDS

INTERIOR LANDINGS	= 900mm
EXTERIOR BALCONY	= 1070mm
INTERIOR STAIRS	= 900mm
EXTERIOR STAIRS	= 900mm
MAX. BETWEEN PICKETS	= 100mm

GUARD HEIGHT IF  
DECK TO GRADE IS:  
GREATER THAN 1800mm = 1070mm  
1800mm OR LESS = 900mm  
NO MEMBER OR ATTACHMENT  
BETWEEN 140mm & 900mm HIGH  
SHALL FACILITATE CLIMBING

## 20 ATTIC ACCESS

PROVIDE ATTIC ACCESS  
MIN. 545mmx580mm W/ INSULATION  
& WEATHER STRIPPING

## 21 PIERS

PROVIDE 200mm DIA. SONO TUBE  
FOR POURED CONCRETE PIERS  
MINIMUM 1200mm BELOW GRADE

22 EXISTING SOLID MASONRY  
EXTERIOR WALL TO REMAIN.

23 75mm DIA. PIPE COLUMN W/  
100mmx100mmx6.35mm  
TOP & BOTTOM PLATE  
1m x 450mm CONCRETE FOOTING

24 EXISTING FLOOR STRUCTURE  
TO REMAIN.

25 EXISTING CEILING STRUCTURE  
TO REMAIN.

26 REMOVE EXISTING EXTERIOR WALL  
AS SHOWN DOTTED

27 REMOVE EXISTING INTERIOR STUD  
PARTITIONS AS SHOWN DOTTED

28 REMOVE EXISTING ROOF OVERHANGS  
AS SHOWN DOTTED

29 REMOVE EXISTING FOUNDATION WALL  
AS SHOWN DOTTED

30 REMOVE EXISTING WINDOW & FRAME  
MAKE GOOD OPENING W/ BRICK TO  
MATCH EXISTING ON THE EXTERIOR

31 INSTALL A CARBON MONOXIDE  
DETECTOR CONFORMING TO  
CAN/CSA-6.11 OR UL 2034

**TACBOC**  
STANDARD DETAIL

MILE  
SAMPLE DRAWING  
CONSTRUCTION SPECIFICATIONS

DWG. NO.  
**A03h**  
2007

**ROOM FINISH SCHEDULE**

RM. NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING			REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
	FIRST FLOOR										
1	KITCHEN	CERAMIC TILE	-----	WOOD	PAINT	DRYHALL	PAINT	DRYHALL	PAINT	2130mm	
2	BREAKFAST	WOOD	STAIN	WOOD	PAINT	DRYHALL	PAINT	DRYHALL	PAINT	2130mm	MAPLE TO MATCH EXISTING
3	BEDROOM	WOOD	STAIN	WOOD	PAINT	DRYHALL	PAINT	DRYHALL	PAINT	2130mm	MAPLE TO MATCH EXISTING
4	CLOSET	WOOD	STAIN	WOOD	PAINT	DRYHALL	PAINT	DRYHALL	PAINT	2130mm	MAPLE TO MATCH EXISTING
5	BATH	CERAMIC TILE	-----	WOOD	PAINT	DRYHALL	PAINT	DRYHALL	PAINT	2130mm	
	BASEMENT										
6	REG. ROOM	CONC.	CERAMIC TILE	WOOD	PAINT	DRYHALL	PAINT			2540mm	

**DOOR SCHEDULE**

NO.	TYPE	SIZE	QTY.	REMARKS
1	EXTERIOR	1825mmx 2030mm	1	FRENCH DOOR
2	SLAB	760mmx 2030mm	1	800 SERIES
3	SLAB	610mmx 2030mm	1	800 SERIES
4	POCKET DOOR	610mmx 2030mm	2	

**LINTEL SCHEDULE**

NO.	DESCRIPTION
1	2-35x184 SPRUCE
2	3-35x184 SPRUCE
3	2-35x255 SPRUCE
4	3-35x255 SPRUCE
5	2-35x286 SPRUCE
6	3-35x286 SPRUCE
7	40mmx 40mmx 6mm L.
8	40mmx 40mmx 8mm L.
9	100mmx 40mmx 6mm L.

**LEGEND**

- DUPLEX OUTLET ( WEATHERPROOF )
- DUPLEX OUTLET ( HST. ABOVE FLR. )
- DUPLEX OUTLET ( 300mm ABOVE FLR. )
- EXHAUST FAN
- SWITCH
- HOSE BIB
- SMOKE DETECTOR
- HEAVY DUTY OUTLET
- LIGHT FIXTURE ( WALL MOUNTED )
- LIGHT FIXTURE ( CEILING MOUNTED )
- POT LIGHT FIXTURE
- LIGHT FIXTURE ( WATER RESISTANT )
- LIGHT FIXTURE ( GAPPED )
- FLUORESCENT LIGHT FIXTURE
- SOLID HOOD BEARING
- FLOOR DRAIN
- TV CABLE OUTLET
- TELEPHONE OUTLET
- COMPUTER OUTLET
- DRYER EXHAUST

**WINDOW SCHEDULE**

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/ A MIN. AREA OF 0.35m<sup>2</sup> W/ NO DIMENSION LESS THAN 550mm & MAXIMUM SILL HEIGHT OF 3M ABOVE FLOOR

NO.	TYPE	SIZE	QTY.	REMARKS
1	CASEMENT	1525mmx 1525mm	1	
2	CASEMENT	610mmx 1525mm	2	
3	SLIDER	415mmx 450mm	2	

**TACBOC**  
STANDARD DETAIL

TITLE  
SAMPLE DRAWING  
SCHEDULES

DRG. NO.  
**A031**  
2007

**For a complete set of drawings, please refer to the TACBOC Standard Details in the Building & Bylaws section of the website or click on this link [TACBOC Standard Details\(2007\).pdf](#)**